

Bay Breeze at MiraBay

Architectural Design Guidelines

Revised 10/26/2023

The information contained in this document is believed to be accurate at the time of publication, but is subject to change at any time without notice.

REVISIONS

This document is a total rewrite of the previous version dated 5/12/2022.
It is a substantially different document and should be reviewed in its entirety.

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Vision & Design Intent

Bay Breeze at MiraBay is envisioned as a compelling, sustainable, and diverse “Coastal Cottage” neighborhood, leveraging its proximity to Tampa Bay and its nearest natural neighbor, Wolf Branch Creek Preserve.

Continuing and enhancing the “Old Coastal Florida” vernacular already found throughout MiraBay, Bay Breeze is linked to its surrounding neighborhoods yet distinguished in its refining of the vernacular to a more humane and accessible scale. Formal architectural archetypes, such as the Cajun Cottage, Beachside Bungalow, Conch Style Cottage of Key West, and New England Seaside Cottage, present a diverse palette of design elements that have been incorporated into the exterior presentation of the homes. The expression of design elements through architectural detailing creates a relaxed elegance and authentic “at-home feel” in keeping with its natural surroundings.

Environmental sustainability and harmony with its surroundings are predominant characteristics that drive the timeless beauty of Bay Breeze at MiraBay.

Association

The Bay Breeze at MiraBay Association, Inc. hereinafter referred to as the Association, is an association comprised of all owners of real property in the Community, to own, operate and/or maintain various common areas and community improvements and to administer and enforce the Declaration and the other Governing Documents. The lot owners and the Association are both parties to recorded deed restrictions, a private contract also known as covenants.

Guidelines Purpose

The purpose of these Guidelines is to provide certain minimum standards, provisions and requirements for appropriate and acceptable design and minimum required criteria for homeowners implementing improvements to existing homes within Bay Breeze. Please note that this document is a guideline only, it is not all-inclusive. The Architectural Guidelines are not the exclusive basis for decisions and compliance with the Architectural Guidelines does not guarantee approval of any application.

These Guidelines are compatible with and derive their authority from the Declaration of Covenants and Restrictions of Bay Breeze at MiraBay (“the Declaration”). For homeowners of Bay Breeze, these Guidelines set standards to evaluate improvement for their homes and yards.

ARC Committee

The Bay Breeze Architectural Review Committee, hereinafter referred to as the ARC, is the entity which will manage the application of these Guidelines within Bay Breeze. All exterior construction and/or improvements in Bay Breeze require the prior written approval of the ARC in accordance with the Declaration. The Declaration provides that the ARC implements the criteria and procedures outlined herein through review and approval or denial of applications to improve property.

The Bay Breeze Board of Directors appoints all members of the ARC which shall consist of at least three (3), but no more than seven (7) equal voting members who shall serve terms subject to the sole discretion of the Bay Breeze Board of Directors.

The ARC shall have the authority to amend the Guidelines with the consent of the Board. Any amendments to the Guidelines shall be prospective only and shall not apply to require modifications to or removal of previously approved construction or modification.

The ARC shall determine its rules of order, meeting dates, meeting locations, submission deadlines, and meeting format (including variations). A majority shall constitute a quorum and a simple majority vote of those members present shall be required. Summary minutes of each meeting will be kept on record.

ARC Review

In reviewing each submission, the ARC may consider any factors it deems relevant, including without limitation, harmony of external design with surrounding structures and environment. Decisions may be based on purely aesthetic considerations. Approval of applications shall not be deemed to constitute a waiver of the right to withhold approval as to any similar applications or matters subsequently or additionally submitted for approval.

Before proceeding with exterior improvements, homeowners will submit to the ARC the Bay Breeze “Request for Architectural Improvement Application” along with plans, sketches, and photographs of product information for review and approval. Improvements include, but are not limited to, the following:

Porch/Lanai screen enclosures	Patio decks
Awnings	Fences
Shutters	Roofing replacement
Exterior paint color change	Walkways
Solar Panels	Hurricane shutters
Landscaping	Driveway finishes
Storage sheds	Private walkways visible to the public
Hurricane protection for windows	Pavers
Decorative Curbing	Window Replacements
Ornamental Objects or Fountains & Sculptures larger than 36” in any dimension.	
More than 3 Ornamental Objects in the front or rear of the home	
More than 1 Fountain or Sculpture in the front or rear of the home	

These improvements which do not require review and approval by the ARC:

- Mailbox replacement if it uses the same model previously approved
- Exterior repainting, if it repeats the exact same color scheme previously approved including non-standard paint colors or schemes used by the home builder and/or Declarant.
- Sealing of pavers with a clear, protective sealant.

ARC approval is not required to install television antennas & satellite dishes, but notice is required with a description of the process used to comply with the **Antenna Placement Preferences** section of the Antenna Guidelines.

All exterior alterations/changes/additions that require the use of another resident's lot for access for a project (i.e., pool, lanai, fence, etc.) shall attach, with the ARC Application, a signed release letter by the neighboring owner giving permission to use part of their property for access.

ARC Determinations

Upon submission of a REQUEST FOR ARCHITECTURAL IMPROVEMENT APPLICATION the ARC will review the Applicant's request and provide a determination which will be one of the following four (4):

- Approved
- Approved with Stipulations
- Denied
- Incomplete

If the application is "approved with stipulations", the Applicant shall make the stipulated changes prior to undertaking construction. However, the re-submission of applications and documents is not required. "Stipulations" are binding upon an Applicant.

When an application is determined to be "denied", the Applicant shall make the pertinent changes on the plans and resubmit a Request form with revised design documents.

An application is "denied" when it is in conflict with the standards contained in the Architectural Guidelines. If an application has been "denied" and an Applicant does not understand the ARC's comments or concerns, the Applicant should contact the ARC Administrator.

An application is "incomplete" when it is lacking information that is required by these Guidelines

An applicant may appeal any denial by the ARC to the Board of Directors. To request an appeal, the applicant shall submit a letter requesting review of the ARC decision via the same means that ARC requests are submitted. The letter shall contain a response to any specific concerns or reasons for denial in the notification of denial. The Board may: affirm the ARC's decision, affirm a portion, and overturn a portion of the ARC's decision, or overturn the ARC's entire decision.

Maintenance and Repair Responsibilities

Each owner shall maintain his or her unit and all landscaping in a manner consistent with the Architectural Guidelines, other governing documents, and Community-Wide Standard. There shall be no right to remove trees, shrubs, or similar vegetation without prior approval from the ARC, except for replacement with the same previously approved tree, shrub, or vegetation.

The Association shall be responsible for maintenance of all lawns and landscaping initially installed, approved landscaping improvements or modifications, and replacements thereof. Such maintenance includes mowing or pruning, fertilizing, mulching, irrigating, treating for weeds, disease and insects as needed, and removal and replacement of dead or dying plants. The Association may replace plants with entirely different plants that it deems suited to the area and conditions.

The Association is not responsible for the maintenance of any unapproved landscaping improvements or modifications which shall be maintained and irrigated by the owner in a manner consistent with Community-Wide Standard.

The Association shall have no responsibility for lawns or landscaping and irrigation within any courtyard or portion of a yard enclosed by a fence or enclosure. Such enclosed areas, improvements or modifications shall be maintained and irrigated by the owner in a manner consistent with Community-Wide Standard.

The Association is responsible for the operation, maintenance, and repair of the Community irrigation system. The Association shall have no responsibility for any sprinklers or other irrigation equipment installed by the owner or occupant of any unit.

The Association's responsibility for repairs, replacement, and debris removal necessitated by casualty events shall be limited to the extent of available insurance proceeds.

Residents are responsible for maintaining the exterior of their dwellings and any other structures on their lots, such as decks, fences, enclosures, and playground type of equipment. The following represent some (but not all) of the conditions, which the HOA considers a violation.

- Peeling paint
- Cracked or broken stucco
- Recreation equipment, which is either broken or in need of repainting
- Guttering in need of painting, repair, or replacement
- Fences with broken or missing parts, or which are leaning
- Permanent light fixtures that are not in working order
- Sidewalks and driveways that are black or covered in mildew/mold/grime
- Algae, mildew, mold, or other grime on exterior of home, fencing, or roof

All exterior changes and modifications shall be completed in a manner so that they do not materially damage the common areas of the Association, CDD, or individual Lots. Nor shall they in any way impair the integrity of the improvements on the property subject to maintenance by the Association. Homeowners shall be held responsible for the acts of their employees, subcontractors and any other persons or parties involved in construction or alteration of home sites.

Decorative Ornaments

Ornaments or decorative embellishments include those on lawns, landscape beds, entryways, and those mounted on the house that are visible from the street, alley, or sidewalk.

1. Ornaments shall not exceed thirty (36) inches in any dimension; however, based upon the dynamics of the lot and home, a variance may be granted via an ARC Application.
2. Ornaments of a solid color shall be white, dark green, brown, natural concrete or stone color. If made of metal, they may be the natural color of that metal.
3. Painted or glazed ornaments shall be as close as possible to the natural color(s) of the subject that they are depicting.
4. A maximum of three (3) ornaments and/or potted plants are permitted in front of the house and an additional three (3) ornaments and/or potted plants that are visible from the alley or cross street in the rear of the house.
5. Decorative ornaments include, but are not limited to:
 - a. bird baths
 - b. bird or animal houses
 - c. decorative flags (including holiday, sports, etc.)
 - d. fountains or statues
 - e. patriotic non-flag display items (yellow ribbons, buntings, decals, etc.)
 - f. personal items other than furniture are considered ornaments
 - g. hanging baskets or other plants on hooks
 - h. plaques
 - i. potted plants
 - j. large stones or boulders
 - k. sun dials
 - l. wind chimes
6. One (1) large stone/boulder may be used as a lawn ornament in a landscape bed if its length is less than 25% of the length of the bed, with a maximum length of 36", and height of 24" visible above ground.
7. No ornaments shall be hung from trees.
8. Multiple bird or animal dwellings, i.e., bird coops are not allowed.
9. Ornaments shall not be placed on driveways, on streets or alleys, nor on utility boxes.
10. Decorative buckets, plastic paint buckets and the like shall not be used.
11. Door wreaths (one per door) are not counted as ornaments.
12. Decorative flags (sports, seasonal, etc.) are limited to one flag each on front and rear of home. Political flags are never permitted.
13. Pots containing dead plants and empty pots shall be removed from public view immediately.
14. Artificial plants/trees or flower arrangements are not allowed on front porches, yards, planter boxes or pots, in landscape beds, or in tree rings.
15. Ornaments and pots displayed in sets of two or more will be counted individually. For example, a ceramic duck with two (2) ducklings is three (3) ornaments.
16. No landscape borders are allowed unless approved previously by the ARC.

Official Flags

A homeowner may display in a respectful manner up to two (2) of the following portable, removable flags not larger than 4 1/2 feet by 6 feet:

- The United States flag.
- The official flag of the State of Florida.
- A flag that represents the U.S. Army, Navy, Air Force, Marine Corps, Space Force, or Coast Guard.
- A POW-MIA flag.
- A first responder flag.

Holiday Decorations

Holiday decorations may be displayed from November 15th-January 15th. Halloween decorations may be displayed for 30 days prior to Halloween. Decorations for other recognized holidays may be displayed for 2 weeks prior to the holiday and shall be removed within 7 days after the holiday.

Holiday string lights shall follow the same schedule as holiday decorations.

Fountains and Sculptures Restrictions

- Only 1 fountain or sculpture may be placed on the property at the front of the house and 1 additional fountain or sculpture placed at the rear of the house.
- Shall be natural cement or earth tone in color and constructed of concrete, stone, plaster, granite, bronze, aluminum, iron, or copper.
- Shall not be obscene or offensive to another person's race or religion and shall be in keeping with the standards of the community.
- Shall conform to the home's existing architectural style and landscaping design and shall not be distracting.
- Shall be maintained, cleaned and in working order at all times.
- Lighting shall conform to the lighting guidelines set forth herein.

Garden Furniture

Furniture shall not be placed in yards, only on porches, patios, courtyards, any area of a yard enclosed by a fence or screen enclosure, or any portion of a yard between a house and garage.

Common Area Use

No extension of the landscaping of home sites shall be permitted onto Association common grounds including mews. Residents shall not put trees, bushes, plantings, bird baths, lawn ornaments, lights, planters, bird feeders, flowerpots, picnic tables, furniture, fences, walks, hedge enclosures and other types of groupings on common grounds and other Association or CDD property. Occasional use for lawn games such as croquet or lawn darts is permitted, but all items must be removed while not in use.

Lighting

Lighting is to be low key and shall be used to accent entrances and special features. Intensity shall be no greater than required for pedestrian safety, other than on accent landscape. The scale of this lighting shall be at pedestrian level. Exterior lighting shall be directed away from adjacent properties. Exterior lighting for security is limited to private property.

Decorative sconce lighting, post lights, landscape up-lighting, bollards, porch lights, and spot/flood lighting are allowed. The fixtures for landscape up-lighting shall always be located in groundcover or shrub areas, not in sod or paved areas. All exterior lighting is to be installed in a way not to cause visual blockage, distractions, and nuisance or be unsightly. It shall provide a warm inviting ambiance and assist in security during nights. Security lights shall be motion activated.

No colored lights, only clear or frosted white light bulbs shall be permitted in any light fixture. Permanent light fixtures shall be maintained to be operational.

Exterior Colors

Bay Breeze has its own color scheme book. Schemes from other areas of MiraBay cannot be used in Bay Breeze. Exterior repainting does not require approval if it repeats the existing approved colors on the house including non-standard paint colors or schemes used by the home builder and/or Declarant. Any changes to an existing color scheme will require selecting a Bay Breeze paint scheme and approval by the ARC.

Two (2) lots shall be skipped before repeating an identical color scheme on the same side of the street. One (1) lot shall be skipped before repeating an identical color scheme on the opposite side of the street.

When selecting a scheme for a residence note the Option # selected and identify, from the predefined options, the color to be used for the door, trim, and accent. The approved color schemes: <https://www.sherwin-williams.com/homeowners/color/find-and-explore-colors/hoa/apollo-beach/fl/bay-breeze-at-mirabay/>

Sherwin Williams Tricorn Black SW6258 can be substituted for shutters and doors. Secondary doors may be white, black, front door color, or the same color as the body of the house. All homes shall be painted in either flat or satin, never semi-gloss, or gloss (other than doors, shutters, and trim, which shall be semi-gloss.) **Garage Doors must be painted the same color as the main body color of the residence." Our current Guidelines do not specify the garage door color.**

If a color scheme applied to a home is found to be inconsistent with that previously approved, then the ARC shall have at its discretion, the authority to require repainting at the homeowner's expense.

When a house is repainted, visible black house numbers minimum height 3.372" shall be installed on the front and back.

House Numbers

The house address numbers shall be displayed on the mailbox. Each house shall exhibit house address numbers clearly visible from any direction of approach on the front facade and alley way of the house. Residents are encouraged to add missing house address numbers at any time and shall install address numbers on both sides of the house when it is repainted. Numerals shall be black in color and a minimum of 3.372" in capital letter height.

Mailboxes

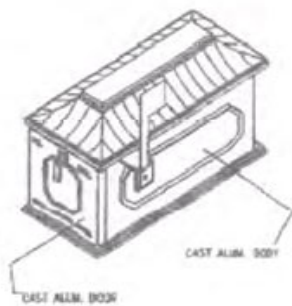
All Bay Breeze homes are required to have standard double mailboxes and pedestal.

The approved mailbox vendor is Creative Mailbox Designs. Phone 813-818-7100 www.creativemailboxdesigns.com Address 6422 Harney Rd, Suite F (Dock Door 69) Tampa, FL 33610. This vendor can be contacted to provide pricing for any replacement parts. Mailbox replacement, if it uses the same model previously approved, does NOT require an application.

Specifications for the mailbox numbers for MiraBay shall be 3M white reflective adhesive vinyl material, Goudy Old Style Bold font, 3.372" tall. For approved mailbox address numbers, a local source is Solar Designs 103 College Avenue West Ruskin - phone number 813-645-2200.

Mailboxes shall be black with a red flag. Replacement mailbox red flags can be purchased locally at home improvement stores such as Home Depot, Lowe's, Ace Hardware, etc.

It is not necessary to submit an application to do maintenance on a mailbox to improve the appearance. An acceptable paint would be a satin black protective enamel such as Rust-Oleum Satin Protective Enamel Black which can be purchased in spray cans or quart cans - Color: Satin Black, Finish Type: Satin.

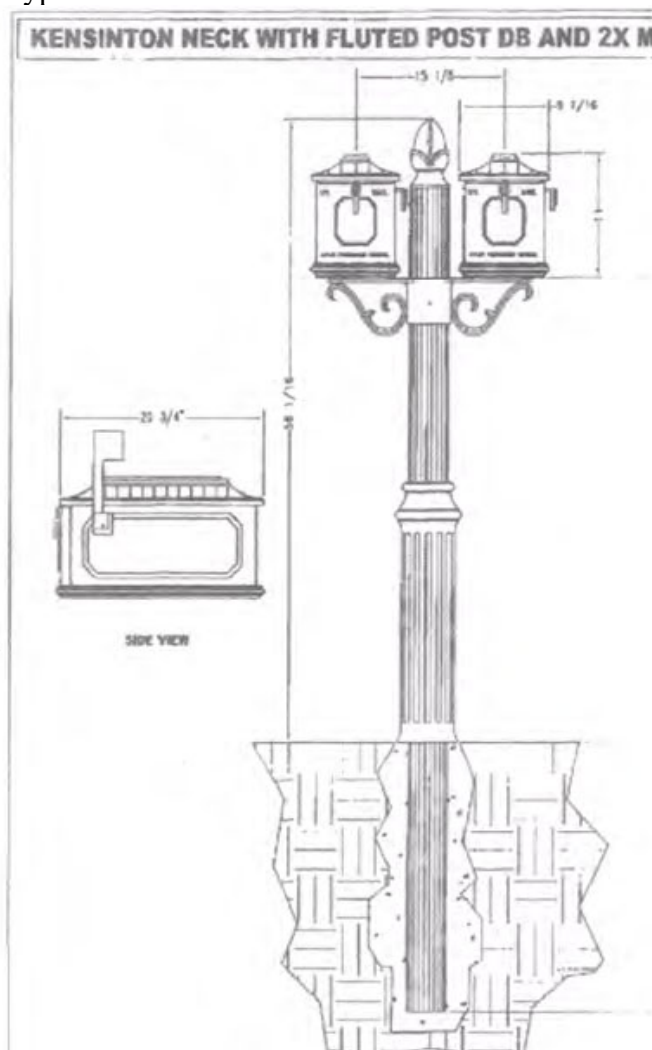


Catalog No.: AP-5124-03-5D, AM-21

KENSINGTON NECK, 4" O.D. FLUTED POST OB, W/FMB, POWDER COAT FINISH (COLOR: BLACK TEXT 2)

NECK: CAST ALUMINUM ALLOY A356.2
SHAFT: FLUTED EXTRUDED ALUMINUM FLUTED 4" X 1/8" WALL
MOUNTING PLATE: EXTRUDED ALUMINUM
MAILBOX: W/FMB CAST ALUMINUM ALLOY A356.2
FASTENERS: ALL FASTENERS ARE STAINLESS STEEL
(TAMPER RESISTANT WHERE REQUIRED).

FINISH: BEACOTE
POLYESTER POWDER COAT ELECTROSTATICALLY APPLIED
AND THERMOWED. (COLOR: BLACK TEXT 2)



Roofs

Acceptable roofing materials are as follows:

- Shingle roofing: Must be dimensional fiberglass, fungus resistant, 300 pound per square minimum. Shingle roof color in the brown/neutral tones such as the manufacturers color most comparable to the “Driftwood” color of Owens Corning or the "Weathered Wood" color of GAF and several other vendors. Homeowners replacing their roof shall submit a color sample for approval to ARC.
- Metal roofing: Can only be unpainted aluminum or Galvalume roofing with the stipulation that fasteners are concealed when installed.

Prohibited roofing materials: Wood shakes, flat (non-dimensional) shingles, tile, and gravel.

Minimum roof pitch is 5.9 in 12 for primary roof elements. For secondary roof elements the minimum roof pitch may be as low as 3.5 in 12. Secondary roof elements may be used on porches, terraces, lanai and or limited applications.

Vents and pipes extending through the roof shall match the color of the roof or be a flat black color. Valleys and flashing attached to the roof shall match the color of the roof.

Downspouts and Gutters: Specifications for gutters are vinyl or aluminum seamless or ½ round aluminum guttering. Acceptable colors for downspouts and guttering are white, or color that matches the surface to which that they are attached. Gutter color and specifications shall be reviewed by the ARC and approved prior to installation. Discharge from gutters and downspouts shall drain in such a way as to not affect the swale via the use of drains, blocks, or discharge onto a hard surface. The request shall describe drainage details.

Driveways and Walkways

Pavers and “stamped” concrete with integral coloring shall be of soft earth tones that are compatible to the color scheme of the house. Paver colors shall be reviewed and approved prior to installation. Material and pattern of the driveway shall continue onto entry walkway if the walkway connects directly to the driveway. An entry sidewalk that does not directly connect to the driveway but rather connects to the public sidewalk has the option of using the same finish material as used at the driveway or can remain as a natural concrete finish only.

Concrete driveways and walks may be treated to achieve a consistent color with a solid color penetrating concrete stain product such as Sherwin Williams H&C Heavy Shield Water-Based Solid Color Concrete Stain in an appropriate color such as HC140 Gray Horizons. Concrete stain and/or texturing products and color shall be reviewed and approved prior to installation by the Bay Breeze ARC. Paint or texture applications with patterns are not allowed for driveways or walks.

All walkways shall be installed flush with the adjacent area and not obstruct the existing surface drainage. Walkways from driveway to home can be no wider than 4 feet.

Driveways and Walkway Materials:

- Standard concrete driveways; to be Fibermesh Concrete only. Finish to be broom finish only with tooled control joints.
- “Stamped” Concrete: Stamping pattern and color shall be submitted for review by the ARC prior to its use.
- Full size “Paver” in sand bed: Must continue through the entrance walkway(s) to entry.

Shutters

It is the intent of this guideline to emphasize to homeowners the need to combine the required safety that hurricane shutters provide to all wall openings as well as the aesthetics of the community.

Other than film, hurricane protections may be utilized after the issuance of a hurricane watch and shall be removed within 48 hours after being permitted to safely return home. Hurricane protection may be used for severe weather as issued by the weather service. The reason for this requirement is to avoid the “boarded up” look during a hurricane season. No type of hurricane protection system is to be used as a security system for periods when the homeowner is not occupying the residence.

Shutter types: There are two (2) types of hurricane shutters that homeowners can use. These are the permanent type and the temporary type. The permanent type has all parts and elements permanently attached to the outside of the structure. The temporary type may have parts such as tracks, or bolts that are permanently attached to the structure, but the primary shutter or panel piece is removed and stored in the absence of a storm. Any temporary hurricane protection systems not provided by the original builder shall be submitted for review by the ARC. Plywood may be used as a temporary severe weather protection system without approval.

Permanent type of hurricane protection shutters that can be used in Bay Breeze are:

- Roll-down: The housing box shall be mounted over the door, window, or gable end attic vent(s) as inconspicuously as possible. The color of the housing box and tracks shall match the color of the surface they are attached to.
- Bahama: These are held in the open position by hinges at the top of the shutter and rigid struts at the bottom. The struts can be removed, and the shutter swung down flush with the wall surface and “locked” in that position. These shutters will be painted the trim or accent color of the house or as approved by the ARC.
- Accordion: Shutter, frame and any other permanently mounted elements shall be painted the same color as the surface they are attached to.

All types of hurricane protection systems shall be submitted to the ARC for review and approval prior to installation on any house in Bay Breeze. Each homeowner shall submit his/her residence for an individual (case-by-case) review of their selected hurricane protection system.

The submittal shall include:

- Drawings (or brochures) showing the selected type of shutter and mounting details for all permanently mounted elements.
- Color samples of all selected colors to be used.
- Photos of all sides of the house that identify the location of all proposed shutters, housing boxes, frames, and tracks.
- Specific design details as to shutter and track configuration(s) with respect to “circle head” and “eyebrow” type windows and doors.

Window Films

Only clear or neutral window film with light transmittance values of 20% or higher are allowed. Window film to be used on front of home shall have a light transmittance value of 35% or higher. Owner shall submit a sample of window film with the review application. Window film is an approvable type of permanently installed hurricane protection.

Swimming Pools & Spas

Swimming Pools shall be located in the rear yard and shall not extend into side yards beyond the rear side yard corners of the house. All pools shall be in-ground only.

Spas are preferred and recommended to be in ground either independent or integrated into the swimming pool whenever possible. Above ground spas/hot tubs may be added to homes ONLY upon approval by the ARC. These above ground spas/hot tubs MUST be of superior grade and quality (wood, faux wood exterior walls - NO INFLATABLES), MUST be within the buildable area of the lot and cannot exceed 75 square feet in area and take up no more than 35% of the lanai space. Spas/hot tubs shall have proper electrical lines installed by a licensed and insured electrician and MUST be buffered from view with landscaping or an alternative method of ensuring privacy. The method of buffering plan shall be submitted as part of the ARC application.

Mechanical equipment for spas and pools shall be appropriately screened where possible from neighbors or public view. All swimming pools and spas are to adhere to the setback requirements of Bay Breeze and Hillsborough County, whichever is more restrictive. Accessories, such as ladders, slides, and waterfalls, etc. shall not be over (6) feet in height from grade.

Plans for swimming pools and spas shall be submitted to the Bay Breeze Architectural Review Committee for approval prior to construction. Pool shall be depicted on a site plan showing all dimensions, setbacks, and materials.

Porches & Decks

Porches: Front porches cannot be screened with the exception that front porches facing the perimeter wall or the preserve. Rear porches may be screened.

Decks: (other than pool decking): Material for deck construction shall be natural wood such as redwood, cypress, pressure-treated wood, etc. or materials such as plastic or fiberglass which have the appearance and characteristics of wood.

Awnings

Canvas or vinyl awnings are permitted for the purpose of sun protection or for aesthetics. They will be allowed when compatible with the architecture of the house, in design and color. Proposed awnings shall always be subject to prior review and approval by the ARC.

Screened Enclosures

Various designs, sizes and locations may be allowed and will be reviewed in relation to the architectural details of the particular residence. All screened enclosures shall have white frames with charcoal gray screening. All screened enclosures are to adhere to the Bay Breeze setback requirements. No screened enclosures shall extend into side yards beyond the rear corners of the house.

The roof area of the screen enclosure may not be higher than the roof ridge of a one-story house. Kick plates not to exceed 24” in height are permitted on doors and enclosures at ground level. No kick plate behind railing on front porch screen enclosures without approval.

All screen enclosure plans shall be submitted to ARC for approval. Each plan shall depict the roof configuration and profile, as well as screen door locations. Any change that affects existing irrigation shall include plans to remove or relocate community irrigation. See **Irrigation Changes** section.

Screen Doors

Screen doors compatible with the design and color of the home or trim shall only be approved at the discretion of the ARC.

Maximum Buildable Area

The Maximum Buildable Area is established by the minimum front, side, and rear yard setbacks, as documented in the Exhibit Lot Criteria for Coastal Cottage 40’ Lots and appropriate Lot Layout diagram. Proposed improvements shall be located within the Maximum Buildable Area of a Lot, excluding driveways, walkways from the sidewalk to the front entry door, landscaping, and fences. Improvements shall include, but not be limited to, the house, accessory structures, swimming pools, screen enclosures, porches, and patio decks.

Corner Lot Additional Requirements

On corner lots, no visual obstructions will be permitted, in accordance with Hillsborough County current or existing codes. This includes anything protruding from the corner of the house closest to a road intersection. Examples of these visual obstructions are fences, hedges, trees, or garden walls.

Fencing along the side street of corner lots shall be set back from the side property line a minimum of 5’ or as specified by County requirements, whichever is more restrictive. This strip of land shall be planted with a hedge of minimum 3-gallon shrubs, 24” minimum height at planting and spaced at 24” between plants and at least one small tree every 20 linear feet. The ground shall incorporate mulch around the plants and a strip of ground cover adjacent to the sidewalk.

Wall Finishes

Exterior wall finishes shall be consistent in color schemes, texture, compositions, and character throughout Bay Breeze. All exterior finishes will be subject to review and approval by the ARC. Exposed concrete block walls are not permitted nor walls with any other type of exposed modular concrete units.

The finishes are the following:

- Cementitious (smooth) variations considered on a case-by-case basis
- Horizontal Lap Siding (smooth hardy board type material)

All wood trim shall be finished, painted, stained, or otherwise protected from the elements.

Accessory Structures

Any structure contemplated for a property shall be submitted for review and approval with the required drawings and information necessary to completely describe the project. In all cases, accessory structures shall be built within the maximum buildable area. Approval will be granted only upon the merit of the structure, compatibility with the architectural character of the house, and desirability for the neighborhood. All structures shall comply with Hillsborough County regulations and receive all necessary permits and approvals prior to construction.

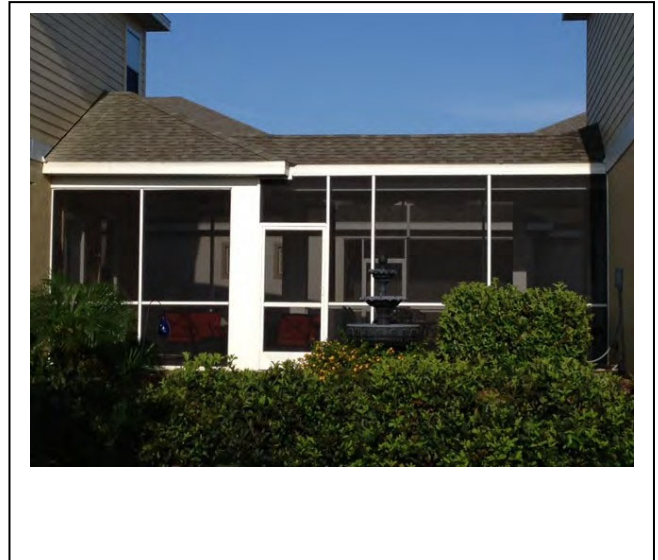
Additions and Enclosed Porches: In general, the materials used for any addition or enclosure shall be compatible with the basic materials of the home, matching architectural details, such as fascia boards, and typical colors. Columns shall be wood, masonry block, aluminum wrapped wood, fiberglass, or cast concrete. Columns shall be a minimum of 8” square or 8” diameter. The roof over such structure shall be conventional wood framing or wood trussed with roof finish and slope to match the existing residence. No metal pan or fiberglass roofs are allowed on any structure. Insulated metal roof panels may be used provided that fiberglass shingles (matching roof of house) are installed per Florida Building Code and County requirements. “Florida-Screen” (solid opaque vinyl with screen patterning) may be approved for enclosing a porch, lanai, or gazebo to provide privacy if not visible from the street.

Sunrooms and Atriums: These are structures attached to a residence that are part of the air-conditioned space of the residence. The sunroom or atrium may not be installed any closer than 10’ from the front of the home. Frame construction may consist of vinyl, wood, or metal color to match existing window frames. Height of structure is not to exceed existing roof line. Glazing materials may consist of glass, plexiglass, Lexan, or polycarbonate. Only clear or neutral window films with tints of 20% or higher light transmittance value are allowed. Owner shall submit a sample of window film with the review application. Window film to be used on front of home shall have a light transmittance value of 35% or higher. No “Florida Glass” is allowed. Roofs may match existing roof material of home or may use the glazing materials as defined above. Solid “kick plates” at lower portion of enclosure may not exceed 18” in height. No “T-111” allowed.

Storage Sheds: Permanent storage sheds, units or cabinets are not allowed on any lot.

Covered Connection Main House to Accessory Structure (Garage)

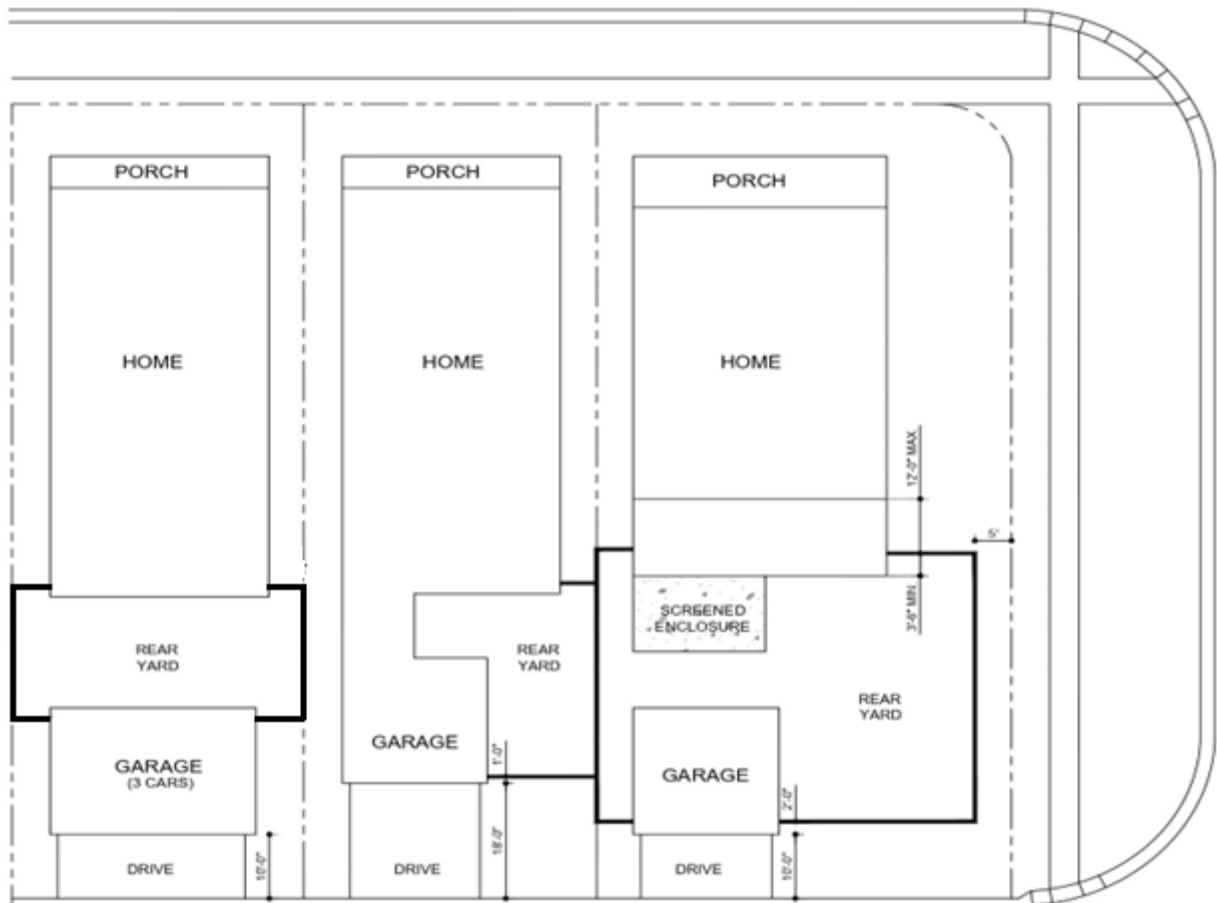
A covered walkway connection from main structure (House) to accessory structure (Garage) is allowable and if built shall be constructed with the same materials, details and finishes as approved for the main structures. This includes columns, beams, roof framing, fascia size and overhang. Roof slopes and roofing materials shall match main structures. The open walls of the Covered walkway may be enclosed with a screen enclosure that meets with the guidelines for screen enclosures. (See attached exhibits)



Note: Screen enclosures shall not extend beyond the rear corners of the house.

Fencing Guidelines

Fencing Setback Exhibit



Bay Breeze at Mira Bay
Private Yard Fencing Diagram

May 19, 2023

1. Front yard fencing is prohibited.
2. See diagram for limits of fence enclosures:
3. Fencing shall be set back a minimum of 1'-0" from the corner of the garage at interior lots and 2'-0" at corner lots.
4. Fencing shall be set back a minimum of 3'-6" to a maximum of 12'-0" from back of house.
5. In addition to other permitted locations, fencing may be installed on interior lot lines only.
6. Fencing along the side street of corner lots shall be set back from the side property line a minimum of 5' or as specified by County requirements, whichever is more restrictive.
7. The maximum height for all fencing is 6'-0". The bottom panel shall be set to a maximum of 2" above grade.
8. A gate shall be provided and shall be opening a minimum of 48" face to face of the structural posts.
9. Fencing styles cannot be mixed within a lot (i.e.; privacy and picket).
10. Materials shall be white PVC. "Dog Ear" Picket design is not allowed on corner lots.

11. Applications for adding or removing fences on lot lines shall attach, with the ARC Application, a signed release letter from the property owner sharing the lot line prior to the start of the project.
12. Corner lot fences shall be lined with shrubs and at least one small tree every 20 linear feet. See **Corner Lot Additional Requirements** for more details.
13. All applications for alterations/changes/additions/removals of a fence shall be submitted to the ARC for approval prior to the start of the project.
14. Fencing maximum height of 6'-0" may be used to screen trash container enclosures, mechanical equipment, and other unsightly items, within the setback restrictions and as approved by the ARC.
15. PVC fences shall be installed and maintained to be as vertically plumb as possible. This may require sections of warped fence to be replaced or may require fence posts to be dug deeper or installed in concrete.
16. PVC fences shall be cleaned regularly so they are not stained or discolored.
17. Shrubbery and grass shall not be allowed to grow through or between the fencing.
18. The association shall have no responsibility for lawns or landscaping within any courtyard or any portion of the rear yard enclosed by a fence. See **Irrigation Inside Fencing** for additional requirements.

Examples of optional fencing types

Note: "Dog Ear" Picket design not allowed on corner lots.



Landscape & Irrigation Requirements

All planting shall be designed and executed in compliance with this document.

Materials Standards

All plant material shall conform to “Florida #1” as defined in the latest edition of “Grades and Standards for Nursery Stock” as published by the Florida Department of Agriculture and Consumer Services. Please refer to the Bay Breeze approved plant list provided. All plant material shall be of highest quality specified. Turfgrass sod shall be clean and free of weeds, noxious pests, and disease.

Mulch

Organic mulch used in home landscaping shall be brown shredded hardwood mulch such as Coco Brown mulch from Florida Mulch, or as determined and approved by the Bay Breeze Board of Directors. All shrub/groundcover beds and tree rings shall be covered with a layer of organic mulch 3” deep. Do not pile mulch upon root stock of trees or shrubs. Mulch is not required in annual beds.

Planting Design

Planting designs for homes shall use a balanced, harmonious variety of materials. Designs shall demonstrate sensitivity to architectural form, spatial relationships, contrasting, complementary foliage colors, textures and forms, watering needs and maintenance.

Plant sizes and spacing shall be consistent with the species of plant as commonly employed in residential landscaping. Tighter spacing is encouraged. Refer to the Bay Breeze Plant List for plant selections approved for use in Bay Breeze as well as recommended sizes and spacing by plant type.

Street Trees

Street trees shall not be removed or trimmed by a resident or owner. (Upon turnover to the CDD, it will be their responsibility to maintain.)

Shade Trees

No large shade tree and no large palm species shall be allowed in the home planting designs. Refer to **Plant Selection** for allowable tree and palm species.

Turfgrass

Celebration Bermuda sod or Bimini Bermuda sod is the only approved turfgrass for residential use. Turf beds shall be fine graded and rolled prior to installation of sod. Joints shall be staggered. No turfgrass is allowed in the front yard.

Maintenance Access

Landscape areas shall allow for access to public and private utility facilities for maintenance purposes. All turf areas shall have mower access of at least 36" in width.

Non-Standard Lot Landscaping

All Corner Lots

Alley Screening Requirement:

Provide, at the back corner of the lot adjacent intersection of the drive and alley, a grouping of three of any of the following plant material and one approvable Ornamental tree:

Fakahatchee Grass (*Tripsacum dactyloides*), 5 gallon size; Minimum 24" Height Orange

Bird of Paradise (*Strelitzia reginae*), 5 gallon size

Firebush (*Hamelia patens*), 5 gallon size; Minimum 24" Height The intent is to screen views of the alley from the drives.

Corner Lots with Detached Garages

Rear Yard Screening with Fence Option:

See "Fencing Design" requirements. Provide in the back yard along the fence line, one additional shade tree or two (2) ornamental trees or two (2) palms from the Bay Breeze Plant List.

Rear Yard Screening With Hedge Option

Provide a continuous screen hedge in the same layout as shown for fences (see "Fencing Design" requirements. Hedge material shall be selected from the "Tall Hedges" in the Bay Breeze Plant List, be 24" in height at planting, and be spaced no more than 36" on center.

Bay Breeze Plant List

The selection of plant material should be given careful consideration. Attention should be given to year-round appearance, maintenance requirements, water requirements and cold resistance. A list of generally acceptable plants is herein provided. This list is not intended to be complete and is to be used as a guide only. Those listed may be considered to have reasonable maintenance requirements.

Plant material has many variables; therefore, it is necessary that all plants be reviewed and approved by the ARC to ensure that satisfactory plants have been selected for each location. The ARC will consult current online documentation from the University of Florida Institute of Food and Agricultural Sciences (UF/IAS) Gardening Solutions when considering the suitability of any proposed plant.

<https://gardeningsolutions.ifas.ufl.edu/>

Plants classified as a highly invasive plant in Florida by the UF/IAS are prohibited except in pots. Residents with invasive plants in garden areas are fully responsible for preventing the spread of those invasive plants. The Association reserves the right to remove invasive plants. A plant selection resource is the UF/IAS article *Alternatives to Invasive Plants Commonly Found in Florida Landscapes*.

<https://plants-archive.ifas.ufl.edu/wp-content/uploads/files/caip/pdfs/ENH1207.pdf>

Planting of fruit and vegetable plants in the ground is prohibited. Fruit trees may be kept in pots in porch or fenced areas. Fruit plants and garden vegetables may be contained in planter boxes or pots.

SHADE TREES (65 gallon minimum)

Street Trees: 3" Cathedral Live Oak ("SLDN"), ,

Front Yard: None

ORNAMENTAL TREES (30 gallon minimum)

Little Gem Magnolia, Yaupon Holly, Eagleston Holly, Japanese Blueberry, Crape Myrtle, Ligustrum,

DOORYARD TREES (5-10 gallon)

Hibiscus, Firebush, Dwarf Crape Myrtle, Tibouchina, Clumping Bamboo, Acacia

LARGE PALMS

None

MEDIUM PALMS (Size appropriate to usage)

Sabal Palm, Chinese Fan Palm, Pindo Palm, Foxtail Palm

LARGE ACCENTS (5-10 gallon)

Christmas Palm, Pygmy Date Palm, King Sago, Cardboard Palm, Fakahatchee Grass, Gingers

MEDIUM ACCENTS (3 gallon)

Orange Bird of Paradise, Croton, Crinum Lily, Philodendron, Spider Lily, Dwarf Fakahatchee Grass, Muhly Grass, Cordgrass

SMALL ACCENTS (1 gallon, 18"-24" spacing)

Agapanthus, Bromeliad, Snake Plant, Flax Lily, Xanadu Philodendron

TALL HEDGES (3 gallon, 36" maximum spacing)

Simpson's Stopper, Walter's Viburnum, Hibiscus, Ligustrum, Sweet Viburnum, Podocarpus

MEDIUM HEDGES (3 gallon, 30" spacing)

Sandankwa Viburnum, Dwarf Hollies, Dwarf Walter's Viburnum

LARGE MASS SHRUBS (3 gallon, 30"-36" spacing)

Majestic Beauty Indian Hawthorn, Jasmines, Coontie, Dwarf Schefflera, Loropetalum,

MEDIUM MASS SHRUBS (3 gallon, 24" spacing)

Dwarf Indian Hawthorn, Dwarf Azalea, Dwarf Hollies, Dwarf Walter's Viburnum, Dwarf Jasmines, Spreading Junipers

GROUNDCOVERS (1 gallon, 12"-18" spacing)

Dwarf Confederate or Asian Jasmine, Liriope "Emerald Goddess", Liriope "Aztec", Monkey Grass species, Perennial Peanut, Agapanthus, Flax Lily, Lilly of the Nila

VINES

Confederate Jasmine, Fig Ivy, Bougainvillea,

PERENNIALS No Restrictions

ANNUALS No Restrictions

TURFGRASSES

Celebration Bermuda sod or Bimini Bermuda sod only

Irrigation

The Bay Breeze lot irrigation system is centrally controlled utilizing the latest technology capable of tracking soil moisture. All monitoring and maintenance of irrigation operations is performed by the Association's Contracted Irrigation Vendor.

Watering Window

Utilizing moisture tracking technology provides the Bay Breeze Homeowners association the opportunity to irrigate based upon the level of depleted soil moisture. In general, spray irrigation on homeowners' lots will operate between the hours of 9:00 p.m. and 8:00 a.m., or Hillsborough County Guidelines whichever is more restrictive. Spray irrigation for common areas will operate according to Hillsborough County guidelines. In the event that the irrigation schedule violates any county or SWFWMD requirement The Association and not individual lot owner shall be responsible for any fines or penalties.

Irrigation Inside Fencing

The Bay Breeze Homeowners Association will not be responsible for irrigating or maintaining irrigation inside a Private Yard Fence. In the event a homeowner chooses to install fencing on a lot previously connected to, or irrigated by, the common lot irrigation system, they shall terminate the common lot irrigation system inside the fence. See fence section above for fencing requirements and irrigation changes below.

Irrigation Changes

Any architectural change application that affects existing irrigation shall include plans to remove or relocate community irrigation. Irrigation shall be removed, capped, or reworked to irrigate turf areas outside fences and turf areas that remain after installation of improvements such as sidewalks and patios that involve removing turf. Drip or micro irrigation shall be added or reworked to irrigate any added or changed plant beds.

Any costs associated with an alteration to the common irrigation system due to approved architectural changes will be the homeowner's responsibility. This work shall be approved as part of the architectural request. At the owner's expense, the owner is responsible for coordinating the irrigation changes with the Association's Contracted Irrigation Vendor if that vendor is willing to work with homeowners or hire their own irrigation contractor to ensure equipment is setup properly to function.

The PVC irrigation feed lines for a property start from valve access boxes which are typically near a corner of the house. There are no manual shutoff valves in the valve box. Only the Association's Contracted Irrigation Vendor is authorized to manipulate the automatic valves in the valve box.

Many of the water supply lines from the valve box cover both sides of the house and the backyard, so the line cannot simply be capped at the fence because it would cut off areas outside the fence. The irrigation contractor chosen by the homeowner adding fencing shall evaluate the locations inside the fenced area that shall be capped. Low volume drip shall be capped where the emitter hose attaches, and each popup spray head shall be removed and capped. If irrigation lines shall be rerouted, the selected irrigation contractor shall install comparable PVC pipe and fitting as needed.

Irrigation Specifications

Devices may not be mixed on an individual automatic control valve. Either sprays or rotors, but not both may be on a turf zone. Low volume irrigation drip and/or micro irrigation for plant beds and trees may be on a landscape zone. Most homes will have a single low volume irrigation zone and a single spray zone. Both these zones may be shared between 2 adjacent homes. Some lots, mainly on corners, may have 1 or more additional rotary sprinkler zones.

Spray: Rain Bird 1806 pop up spray sprinklers shall be installed with Rain Bird nozzles and screens spaced “head to head” or 50% of diameter. Example: a spray head with a 15’ radius (30’ diameter) shall be spaced 15’ from the adjacent spray sprinkler head.

Rotary: Hunter PGP rotary sprinkler heads shall be spaced “head to head” or 50% of diameter. Example: a rotary head with a 35’ radius (70’ diameter) shall be spaced 35’ from the adjacent rotary sprinkler head.

Drip: Inline drip tubing Netafim TLCV-9-12-025 (emitters 12” O.C.) installed in the planting beds shall be configured in rows 18” apart. Trees requiring supplemental water shall have additional emitters “plugged” into drip line. Rain Bird pressure compensating modules (5 to 24 gph) shall be added to the inline drip ring depending on tree size and water requirements. Netafim TLFV-1 flush valve shall be installed at the end(s) of drip line(s).

Vehicles

All vehicles parked overnight shall be kept inside a garage, on private driveways, or marked off-street parking spaces. No parking is permitted in alleys except for briefly loading or unloading. Service vehicles shall be parked on driveways, streets, or marked off-street parking space while performing services. All vehicles in off-street parking spaces shall fit within the marked lines. No vehicles shall be driven or parked on garden or grassy areas to prevent damage to irrigation components.

No vehicle shall be parked on streets after 11 pm. Exceptions to this restriction are parties or emergencies. In cases of parties, vehicles may be parked in front of the house during party hours. Overnight parking on any street in MiraBay is prohibited in accordance with the Harbor Bay CDD rules and regulations. The Harbor Bay CDD has handed over enforcement of the roads it owns to the County. The County is the parking enforcement entity. Report traffic and parking concerns online through the county website <https://www.hillsboroughcounty.org/en/residents/property-owners-and-renters/roads-and-sidewalks/action-folder/report-a-traffic-concern>

Both the CDD and Association have the right to tow vehicles and vessels that violate covenants, rules, or guidelines. Consult the Towing Notice signs posted at the entrances to contact the towing company.

Recreational Vehicles and Trailers: Recreational vehicles including motorcycles, scooters, buses, campers, motor homes, boats, and trailers shall not be parked overnight within any lot, along any roadway, or off-street parking spaces. However, if the recreational vehicle or trailer fits into the regular garage, said vehicle may be stored in the garage. Conversion vans suitable for passenger use and used primarily for normal driving are exempt from these overnight parking prohibitions.

Inoperable or Unlicensed Vehicles: Inoperable vehicles are vehicles that cannot be driven without repair; on blocks or similar devices; or covered with a tarpaulin or other automotive cover. Unlicensed vehicles do not have current State registration that allows operation on public streets. No inoperable or unlicensed vehicles shall be allowed to be parked overnight within any lot, along any roadway, or marked off-street parking space, but may be stored in garages.

Commercial Vehicles: No commercial vehicles shall be allowed to be parked overnight within any lot, along any roadway, or marked off-street parking spaces without prior written approval from the ARC. Any commercial vehicle approved by the ARC shall be kept in a clean, well-maintained, orderly fashion. Commercial vehicles shall not include official vehicles owned by governmental or quasi-governmental bodies. A vehicle shall be deemed a commercial vehicle if the vehicle meets at least three of the following characteristics:

- weighs over 6,001 pounds
- too large to fit in marked off-street parking space
- has ladder or other equipment racks
- has commercial signage
- has a trailer attached
- has a lift gate or lift bucket
- used for providing services to another person or entity for a fee or profit
- used for the purpose of transporting persons for hire

Signs

Real Estate Standardized For Sale signs are the only real estate signs allowed in Bay Breeze.

One sign will be allowed at a home which is available for resale. The design can be in color or in black/white so long as the design and size is consistent with the specifications noted.

- Design size of the square section is 24" x 24".
- Overall height on the roof triangle top is 30".
- Suggested print material: PVC board.



The text printed on the sign shall be limited to the following format:

- FOR SALE BY OWNER - or -
- Real Estate/Brokerage Company Name or Realtor / Contact Name
- Phone number
- Email address or website address

The production of the sign is at the owner or Realtor's expense. The Association does not have a design template. This may be produced with a vendor of your choice.

The following vendor that can produce the sign to HOA standards:

Artcraft Signs, John Ricci, Phone 813-340-2912 or email artcraftsn@aol.com

Other Signs: “Protected by alarm” signs are authorized in landscaping near the front and rear door. Signs shall not exceed six inches (6”) by eight inches (8”). A “permit board” displaying a building permit from the applicable governmental agency is allowed if required to be posted conspicuously. No other signs are allowed, including vendor signs.

CDD Election Sign

To stay consistent with the rest of MiraBay, political signs can be displayed to promote any officially registered candidate running in the current CDD election. No signs, flags, banners, or any other type of political messaging for any federal, state, or local political race or issue is permitted.

- No sign shall be placed in any common area, right of way, community park, CDD or HOA controlled property without written approval from the Bay Breeze ARC or MiraBay ARC.
- Only one standard sign will be permitted in a resident’s yard and only with that resident’s permission.
- A standard sign is defined as being no more than 24” tall by 30” wide and secured in the ground with either a single wooden stake or metal frame.
- Overall installation of sign including stand is not to exceed 36” in height.
- Signs are allowed to be placed no earlier than 30 days before an election and may remain for no more than 24 hours after the election.

Sign Removal

Any type of sign not previously approved by the ARC or MARC, plus any flag, banner or advertising of any kind not conforming to the provisions of these guidelines, will be removed, and disposed of by the management company without any prior notice and without responsibility of any kind for such removal on the part of the Association or the management company.

Antennas

This section is intended to and shall comply with and be subject to Section 207 of the Telecommunications Act of 1996 and any future amendments thereto. While the ARC cannot require approval before installation, residents shall comply with the placement preferences provided the preferred placement does not impose unreasonable delay or expense or preclude reception or transmission of an acceptable quality signal. Residents shall submit notice of an antenna installation within 30 days of installation describing the process used to determine the location. It is suggested to discuss placement options with the ARC before installation.

The following antennas or dishes are covered by the rule:

- A dish antenna one meter or less in diameter that is designed to receive direct broadcast satellite service, including direct-to-home satellite service, or to receive or transmit fixed wireless signals via satellite, including a hub or relay antenna used to receive or transmit fixed wireless services that are not classified as telecommunications services.
- An antenna that is one meter or less in diameter and is designed to receive video programming services via broadband radio service (wireless cable), or to receive or transmit fixed wireless signals other than via satellite, including a hub or relay antenna used to receive or transmit fixed wireless services that are not classified as telecommunications services.
- An antenna that is designed to receive local television broadcast signals.

Dish antennas larger than one meter in diameter are prohibited.

All other types of antennas require approval of the ARC.

Antenna Placement Preferences: Mounted, installed, attached, or placed in the rear yard of the property; Mounted, installed, attached, or placed no higher than necessary to obtain reception of acceptable quality. Located so that it is not visible from the street or the adjoining property. All preferences shall be followed unless that preference unreasonably impairs the ability to receive an acceptable quality reception; in which case that preference shall be diminished only to the extent necessary to allow a reasonable cost and acceptable quality reception.

Antenna Maintenance: Homeowners shall not permit their antennas and satellite dishes to fall into disrepair or to become a safety hazard, and shall be responsible for their maintenance, repair and replacement, and the correction of any safety hazard.

Other Restrictions

Air Conditioners: No window or wall air conditioning units shall be allowed. Outside condensing units shall be shielded by shrubs, or other means. Any landscape alterations near unshielded condensing units shall include plans to add appropriate shielding with plantings and/or fencing.

Basketball Goal: The only permissible residential basketball goal is a portable type of goal which shall be removed and stored out of public view after each use. They shall always be stored in an enclosed area, such as a garage during night-time hours.

Barbeque Pits: Constructed of brick or concrete block with a cementitious finish which shall match the exterior of the house. Placement, finish material, and screening from public view will be extremely important in the review and approval of this type of structure. Fire pit is not permitted in the ground.

Garage Conversion: No garage shall be converted to finished space or other integral part of the living area on any Unit.

Generators: Hours for running generators will be limited to 8 am. to 7 pm. and cannot exceed noise level of 71 decibels. During an extended power outage there will be no time restrictions. Permanent generators shall be located in a side or rear yard and appropriately screened from neighbor's and public view with plantings and/or fencing.

Pool Equipment: All exterior pool or spa equipment and any other type of mechanical equipment shall be located in a side or rear yard and shall be appropriately screened from neighbor's and public view with plantings and/or fencing.

Solar Water Heaters: Solar water heaters shall be located on a roof exposure shielded from view from the street and adjoining properties to the maximum extent possible, provided that such location does not affect the efficiency of its operation.

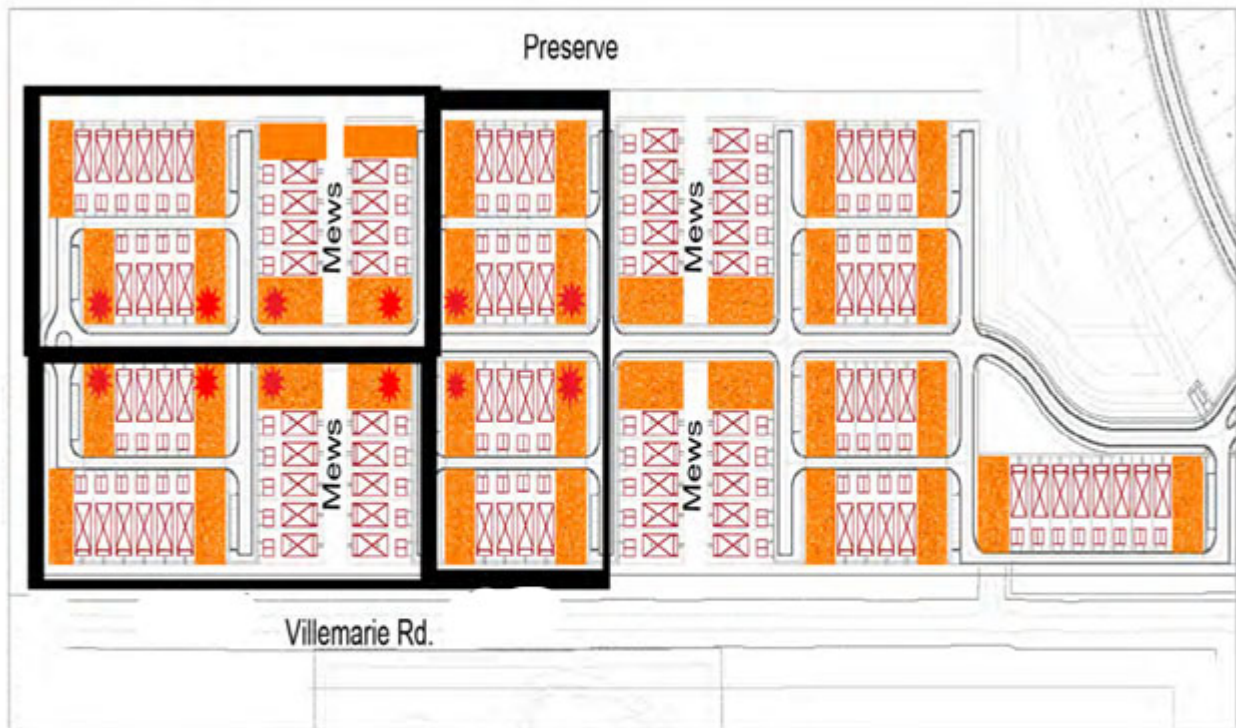
Solar Panels: A property owner may not be denied permission to install solar collectors or other energy devices. The ARC may determine the specific location where solar collectors may be installed on the roof within an orientation to the south or within 45 degrees east or west of due south if such determination does not impair the effective operation of the solar collectors.

Trash and Recycling: Approved containers for trash and recycling may be placed by the curb in the alley or cross street no earlier than the day before Hillsborough County pickup day and removed within one day after pickup. At other times, containers shall be stored in garages or shielded from direct view by plantings and/or fencing.

Yard Waste: Plant material may be placed by the curb in the alley or cross street no earlier than the day before Hillsborough County yard waste pickup day. Yard waste from residential lots shall not be placed on common property by residents.

Water & Sewer: The houses in Bay Breeze shall connect to the central water and sanitary sewer system provided to the community. Individual wells will not be permitted.

Lot Types



The Cottages at Bay Breeze
A.R.C. Neighborhood Tracking Map: Non Standard Lots

Standard Lots

Standard lots are regularly occurring interior lots that only face the major right of way street at the front facade wall.

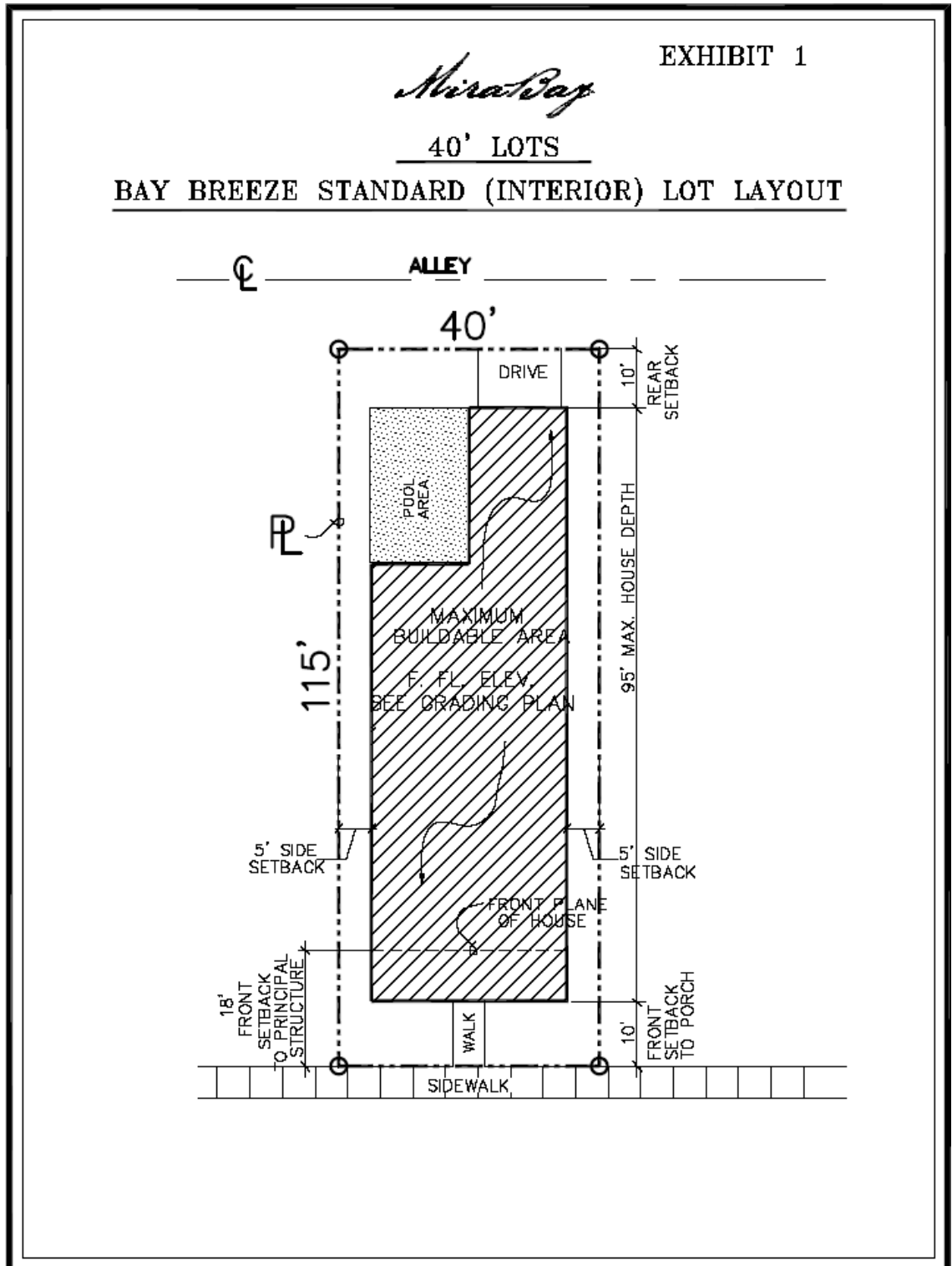
Non-Standard Lots

Non-standard lots are irregularly occurring lots due to shape, size, location, easement, multiple facades fronting the major right of way streets (i.e., corner lots), or other factors (i.e., mews or preserve). Non-standard lots may be subject to varying levels of Architectural and Landscape detailing (see non-standard landscape exhibit) as required by the ARC. Additional landscape requirements for alleys are provided in Non-Standard Lot Landscaping.

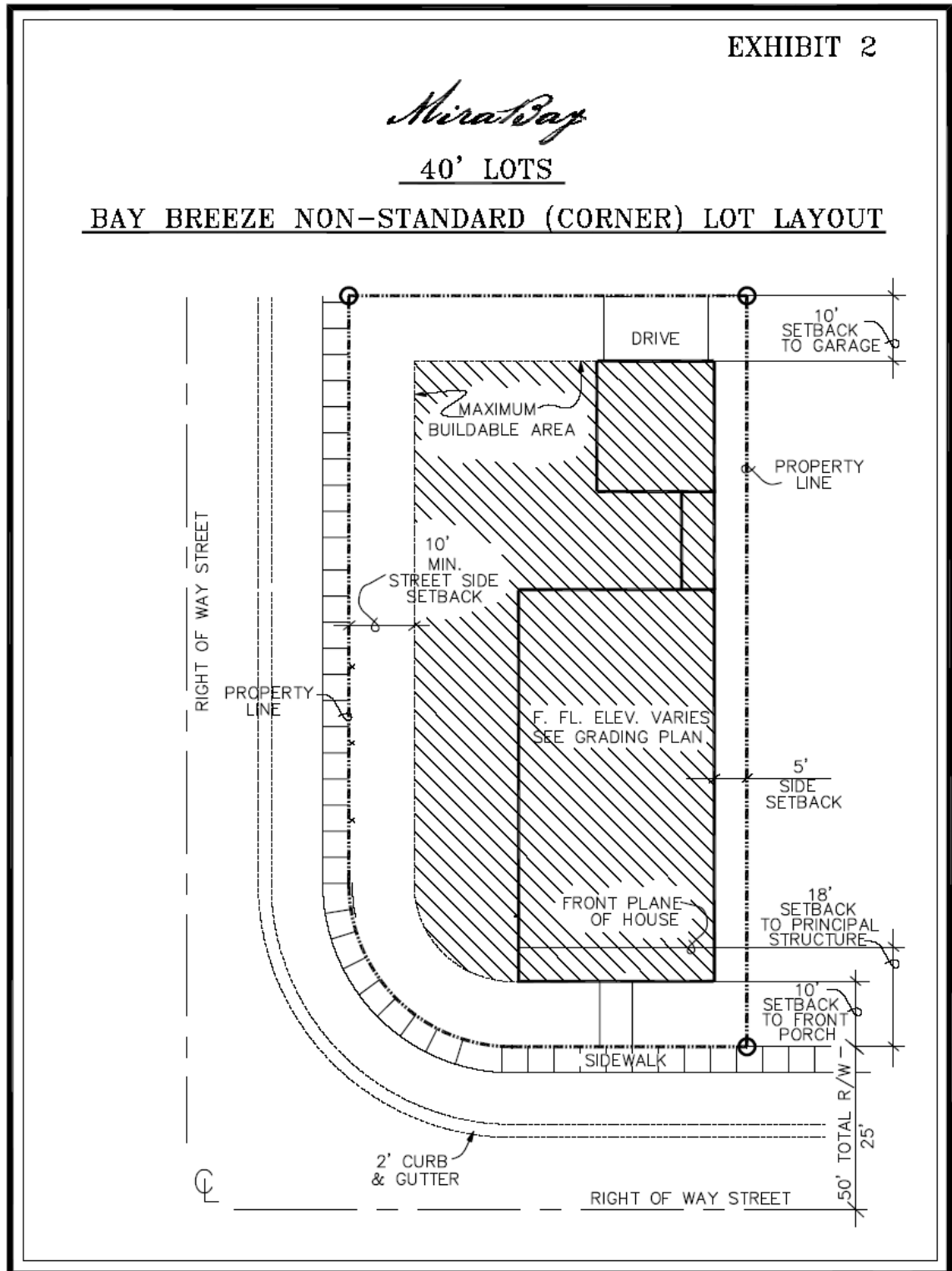
Lot Criteria for Coastal Cottage 40' Lots

COMPONENTS & RESTRICTIONS	LOT CRITERIA
Standard Lot Size	40'x115'
Finish Floor Elevation	11.5' (N.A.V.D.) As per neighborhood grading plan
Minimum Finished Sq. Ft.	1500 sq. ft.
Maximum Height	40' (as defined by Hillsborough county)
Accessory Structures	Allowable within maximum buildable area
Minimum Garage Size	2-car
Recommended Garage Size	2-car
Front Yard Setback To Porch	10'-0" Minimum
Front Yard Setback To Home	18'-0" Minimum
Rear Yard Setback To Home	10'-0" Minimum
Rear Yard Setback To Garage	10'-0" Minimum
Side Yard Setback	5'-0" Minimum
*Street Side Yard Setback	10'-0" Minimum
Swimming Pool Setbacks	5'-0" Minimum Rear (Never beyond Garage) 5'-0" Minimum Side (Never beyond home corners)
Patio Deck Setbacks	5'-0" Minimum Rear (Never beyond Garage) 5'-0" Minimum Side (Never beyond home corners)
Screened Enclosure Setbacks	5'-0" Minimum Rear (Never beyond Garage) 5'-0" Minimum Side (Never beyond home corners) Screened enclosure profile may not exceed home profile
Easements	Per Plat
Building Coverage	75%
Elevation Repetition	When building the same elevation on the same side of the street two (2) full lots shall be skipped before repeating the same elevation. When building the same elevation across the street one (1) full lot shall be skipped.

Standard Lot Layout



Non-Standard Lot Layout



Architectural Requirements

Proportion, Tradition and Timelessness

Tradition is an attitude about construction that uses time-tested methods and techniques in the construction of modern buildings and structures. Buildings designed to incorporate time-tested rules of proportion and harmony retain their curb appeal and ultimately their value, while “style” comes and goes. Proportion and overall harmony are achieved through the sizing, spacing, and utilization of the various architectural building elements including but not limited to; columns, beams, brackets, windows, shutters, and the various surface finishes. The application of various building materials shall appropriately express the specific properties of the materials. For example, heavier, more permanent materials (i.e. masonry) support lighter materials (i.e. wood). Often, one material may mimic another: for example, stucco or wood may mimic stone masonry.

Care shall be taken to appropriately express the material being implied.

Building Massing

The building mass shall be a simple composition of basic building forms following a clear hierarchy.

- **Principal structure**

This is the main body of the home composed of the primary living spaces, entry, kitchen, dining, family room, living room etc.

- **Subordinate Structure**

These are proportionately smaller spaces and structures oriented around the Principal structure. Subordinate structures include bedrooms, bathrooms, utility and multipurpose rooms, halls, storage, and attached outdoor living spaces, etc.

- **Auxiliary Structure**

These are spaces and structures occurring within the buildable lot area but not directly attached to the Principal structure.

Auxiliary structures include detached garages, sheds, and other free standing built elements.

Monolithic building massing (i.e. vanilla box) is not allowed in Bay Breeze. Building massing shall have mixed proportions and express the additive nature of the building forms with regards to the principal structure of a home. The entry shall be distinct, having prominence within the architectural hierarchy of the principal structure. Rooflines shall be simple gables, hips, and sheds, or combinations of these three basic roof forms. Roofs shall correspond to the major massing of the house; complicated rooflines are to be avoided.

Style

This guideline requires structures to be designed in a “Coastal Cottage Vernacular.” The Historical Coastal Cottage borrows its key stylistic elements (proportion, massing, materials, etc.) as well as details (columns, window trim, rails, banding, bracketing, etc.) from various historical styles. The cottage combines the varying elements and details, refining the scale, and manipulating the use of the varying elements to create a harmonious balance between the owner, the home and their surroundings.

Stylized Details

Examples of the stylized design details used in the Coastal Cottage Architecture include but are not limited to:

- | | | |
|----------------------|------------------------|----------------------|
| - Mixed Roof Forms | - Large Porch | - Column Detailing |
| - Frieze Detailing | - Siding | - Col. Pedestal Det. |
| - Cupolas | - Shake | - Feature Windows |
| - Batten Shutters | - Varying Roof Pitches | - Dormers |
| - Wall Bump Outs | - Bay Windowing | - Coach Lights |
| - Wrap Around Porch | - Widow Walks | - Window Trims |
| - Trellis and Arbors | - Louvers and Venting | - Corbelling |
| - Bracketing | - Moldings | - Fenestration |
| - Railings | - Circular windows | - Roofing material |

Standard Lot Requirements

- Minimum 20” required foundation wall reveal (i.e. step down) at front porch to finish grade locations. Minimum finish floor height as per neighborhood grading plan.
- Porch railings are required on all elevations.
- Maximum window frame head height at 7’-4” above adjacent finish floor.
- Minimum 8” porch beam reveal on front porch
- All lots facing the preserve or wall may have screened front porches. Screen framing shall be installed inside the railing and have a white finish with charcoal screen. Doors only may have a 12" high kickplate. No other front porches may have screen enclosures.

Non-Standard Lot Additional Requirements

- Houses on corner lots and Non Standard Lots will be subject to increased landscaping, and Architectural detailing requirements at all locations visible from the right of way street.
- The garage at corner and non standard lots will always be located within the “side yard” opposite the right of way street.
- Detached garages on corner and non-standard lots visible from the right of way street will be subject to increased landscaping, and also hard-scaping requirements at locations occurring between the detached garage and main body of the home (i.e. covered walkway, knee wall, pergola structure, etc.). These conditions shall always be reviewed and approved by the ARC.

Green Building Requirements

All home construction shall meet the standards of The United States Green Building Council's (USGBC) Leadership in Energy and Environmental Design (LEED) program, the Florida Green Building Coalition (FGBC), the Green Building Initiative's Green Globes (GBIGG) program, the Energy Star (ES) program, or another nationally-recognized, green building system previously approved.

Entry and Entry Monument

The entry statement at Bay Breeze will be consistent with the entry design used throughout MiraBay with flanking pier monuments and copious tropical plantings.

Open spaces and trails in Bay Breeze connect the community incorporating social and recreational opportunity. In most cases the homes front onto the system. The park in Phase One provides a beautiful visual context for the homes and social gathering opportunities with views of the preserve and natural pond. The Mews areas connect front doors to the native shell trail system and shaded seating. Additional spaces are designed to engage neighborhood engagement.